

HISTORIC AND DESIGN REVIEW COMMISSION

May 04, 2022

HDRC CASE NO: 2022-228
ADDRESS: 114 SWEET
LEGAL DESCRIPTION: NCB 2563 BLK C LOT 4 & W 20 FT OF 5
ZONING: RM-4, H
CITY COUNCIL DIST.: 1
DISTRICT: Nathan Historic District
APPLICANT: Nathan Manfred/French & Michigan
OWNER: Stephanie Chapman
TYPE OF WORK: Construction of a rear addition and carport, fencing
APPLICATION RECEIVED: April 14, 2022
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Construct a rear addition to feature 500 square feet.
2. Construct a detached carport to the west of the historic structure.
3. Install privacy fencing on site.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. Minimize visual impact—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. Rooftop additions—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. Dormers—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. Footprint—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. Complementary materials—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. Other roofing materials—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

- i. Imitation or synthetic materials—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

- i. Salvage—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

- i. Historic context—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. Architectural details—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

Standard Specifications for Windows in Additions and New Construction

Consistent with the Historic Design Guidelines, the following recommendations are made for windows to be used in new construction:

- **GENERAL:** Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- **SIZE:** Windows should feature traditional dimensions and proportions as found within the district.
- **SASH:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. All windows should be supplied in a block frame and exclude nailing fins which limit the ability to sufficiently recess the windows.
- **TRIM:** Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail.
- **GLAZING:** Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature true, exterior muntins.

- **COLOR:** Wood windows should feature a painted finish. If a clad or non-wood product is approved, white or metallic manufacturer's color is not allowed and color selection must be presented to staff.

Historic Design Guidelines, Chapter 4, Guidelines for New Construction

5. Garages and Outbuildings

A. DESIGN AND CHARACTER

- i. Massing and form*—Design new garages and outbuildings to be visually subordinate to the principal historic structure in terms of their height, massing, and form.
- ii. Building size* – New outbuildings should be no larger in plan than 40 percent of the principal historic structure footprint.
- iii. Character*—Relate new garages and outbuildings to the period of construction of the principal building on the lot through the use of complementary materials and simplified architectural details.
- iv. Windows and doors*—Design window and door openings to be similar to those found on historic garages or outbuildings in the district or on the principle historic structure in terms of their spacing and proportions.
- v. Garage doors*—Incorporate garage doors with similar proportions and materials as those traditionally found in the district.

B. SETBACKS AND ORIENTATION

- i. Orientation*—Match the predominant garage orientation found along the block. Do not introduce front-loaded garages or garages attached to the primary structure on blocks where rear or alley loaded garages were historically used.
- ii. Setbacks*—Follow historic setback pattern of similar structures along the streetscape or district for new garages and outbuildings. Historic garages and outbuildings are most typically located at the rear of the lot, behind the principal building. In some instances, historic setbacks are not consistent with UDC requirements and a variance may be required.

Historic Design Guidelines, Chapter 5, Guidelines for Site Elements

2. Fences and Walls

C. PRIVACY FENCES AND WALLS

- i. Relationship to front façade*—Set privacy fences back from the front façade of the building, rather than aligning them with the front façade of the structure to reduce their visual prominence.
- ii. Location*—Do not use privacy fences in front yards.

FINDINGS:

- a. The historic structure at 114 Sweet Street was constructed circa 1900 in the Folk Victorian style. The structure features two, front facing bays, a brick chimney, and is contributing to the Nathan Historic District.
- b. **EXISTING SITE** – The property currently features a parking easement which exists on the west side of the property. This easement restricts access to the side and rear yard within the property, as shown on the submitted site plan.
- c. **REAR ADDOTOPM** – The applicant has proposed to construct a rear addition to feature 500 square feet.
- d. **REAR ADDITION** – The Guidelines for Additions 1.A. notes that additions should be sited to minimize view from the public right of way, should be designed to be in keeping with the existing, historic context of the block, should feature similar roof forms, and should feature a transition to differentiate the new addition from the historic structure. Additionally, the Guidelines for Additions 1.B notes that additions should be subordinate to the principal façade of the historic structure, should feature a footprint that responds to the size of the lot, should not double the existing building footprint, and should feature an overall height that is generally consistent with that of the historic structure. Staff finds the proposed addition to be appropriate and consistent with the Guidelines.
- e. **MATERIALS** – The applicant has proposed materials that include wood siding to match the existing, a composition shingle roof and clad wood windows. Generally, staff finds the proposed materials to be appropriate and consistent with the Guidelines.

- k. WINDOW MATERIALS – The applicant has noted the installation of clad wood windows. Staff finds the proposed windows to be appropriate; however, the applicant should ensure that the proposed windows are consistent with staff's standards for windows in additions and new construction.
- f. ROOF FORM – The applicant has proposed for the rear addition to feature a hipped roof. Overall, the proposed roof form will be subordinate to that of the historic structures. Staff finds the proposed roof form to be appropriate.
- g. ARCHITECTURAL DETAILS – Generally, staff finds the proposed addition's architectural details to be appropriate and in keeping the Guidelines for Additions. Staff finds that the proposed rectangular, fixed windows should feature traditional sizes and should be in a sash configuration.
- h. CARPORT – The applicant has proposed to construct a detached carport to feature metal construction to be located adjacent to the right of way. The Guidelines for New Construction 5. note that garages and outbuildings should be located in a manner that is consistent with the traditional setback found on the block. The proposed location adjacent to the right of way is not consistent with the Guidelines; however, due to existing site conditions, staff finds the proposed location to be appropriate. Additionally, the Guidelines note that rear accessory structures should relate to the primary structure on the lot regarding materials and simplified architectural details. Staff finds that the applicant should incorporate materials that are consistent with those found on the historic structure into the design of the garage.
- i. PRIVACY FENCING – The applicant has proposed to install privacy fencing to start at the rear of the proposed carport and extend to the rear of the property. Staff finds that the proposed privacy fencing should begin behind the front-most side window on the west façade, as the Guidelines say that privacy fencing should be set behind the front façade rather than align with it.

RECOMMENDATION:

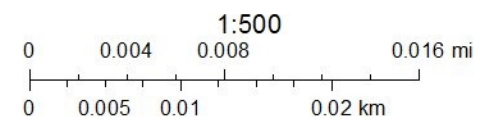
1. Staff recommends approval of item #1, the construction of a rear addition based on findings a through g with the following stipulations:
 - i. That the proposed clad windows be consistent with staff's standards for windows in additions and new construction.
 - ii. That the proposed rectangular, fixed windows be replaced by windows that feature traditional sizes in a sash configuration.
2. Staff recommends approval of item #2, the construction of a carport, based on finding h with the following stipulation:
 - i. That the applicant provide enough depth to ensure that vehicles do not park in a manner that impedes the sidewalk.
 - ii. That the applicant incorporate materials (wood) that are complementary of the historic structure into the design of the carport.
3. Staff recommends approval of item #3, the installation of privacy fencing with the stipulation that the proposed privacy fencing start behind the front-most side window on the west façade.

The applicant is responsible for obtaining all required variances from the Zoning Board of Adjustment.

City of San Antonio One Stop



April 29, 2022



FRENCH & MICHIGAN

The proposed work at **114 Sweet, San Antonio, Texas 78204** consists of the following:

Currently, the structures on the property consist of a 1,260 square foot existing historic home. The proposed project consists of a new 500 square foot single story addition attached to the rear of the existing home. A previous addition, as shown on the attached survey, was removed by the previous owner.

The existing home is currently being re-leveled. Once leveled construction will also include remodeling of the interior and restoring and repairing the house exterior. This will include replacing damaged wood siding and trim in kind, restoring existing wood windows, repairing the existing roof deck and replacing the existing roof with a new composition shingle roof.

New Addition - 500 square feet

Add a new wood framed, single story addition to the South (rear) side of the house. The finish floor of the addition would match the existing house. The new addition will have wood siding and an extended asphalt shingle hip roof to match the existing historic home with two shed roof components on each side of the extended hip roof. The addition would be painted with paint colors to be selected in the future and approved by OHP. New windows in the addition would be metal clad wood windows to match historic guidelines. The height of the roof peak of the proposed addition is 18'-8" while the roof peak of the historic home is 22'-6".

Location of the New Addition

The existing structure already encroaches into the sideyard set back by 2'-3". The proposed addition will be located 3'-3" from the side property line at its narrowest point. We also propose to encroach on the rear setback with the narrowest point being 6'-3" from the property line. The alleyway to the rear of the property may allow for the reduced setback requirements, but that is to be determined by Zoning and the Board of Adjustments. The proposed addition is further away from the property lines than the previous demolished addition.

Unique Property Conditions

The previous owner of the property was David Adelman and AREA Real Estate. As they had developed the adjacent property at 1811 S. Alamo, they legally created parking easements on part of the property of 114 Sweet for their commercial development. This has reduced the buildable area on the 114 Sweet Property, so every attempt has been made to maximize the square footage of the house, while still being sensitive to the Historically Significant nature of the original house. The owner proposes to construct a new wood privacy fence along the property lines and parking easement lines.

Carport

The owner is requesting a detached minimal profile single car metal carport to be built on the existing parking pad on the front west corner of the property. There had been a previous covered parking area on the west side of the house, but that was removed by a previous owner, and the recently instated parking easements have reduced any other opportunities for protected parking locations on the property. The proposed carport will not obstruct the front view of the house.

Board of Adjustments

Final approval of the proposed setbacks may require Board of Adjustment approval as they are less than the standard setbacks for RM-4 zoning.

114 Sweet San Antonio, Texas 78204



North Elevation - House FrontFacing Sweet St.



West Elevation - Side of House

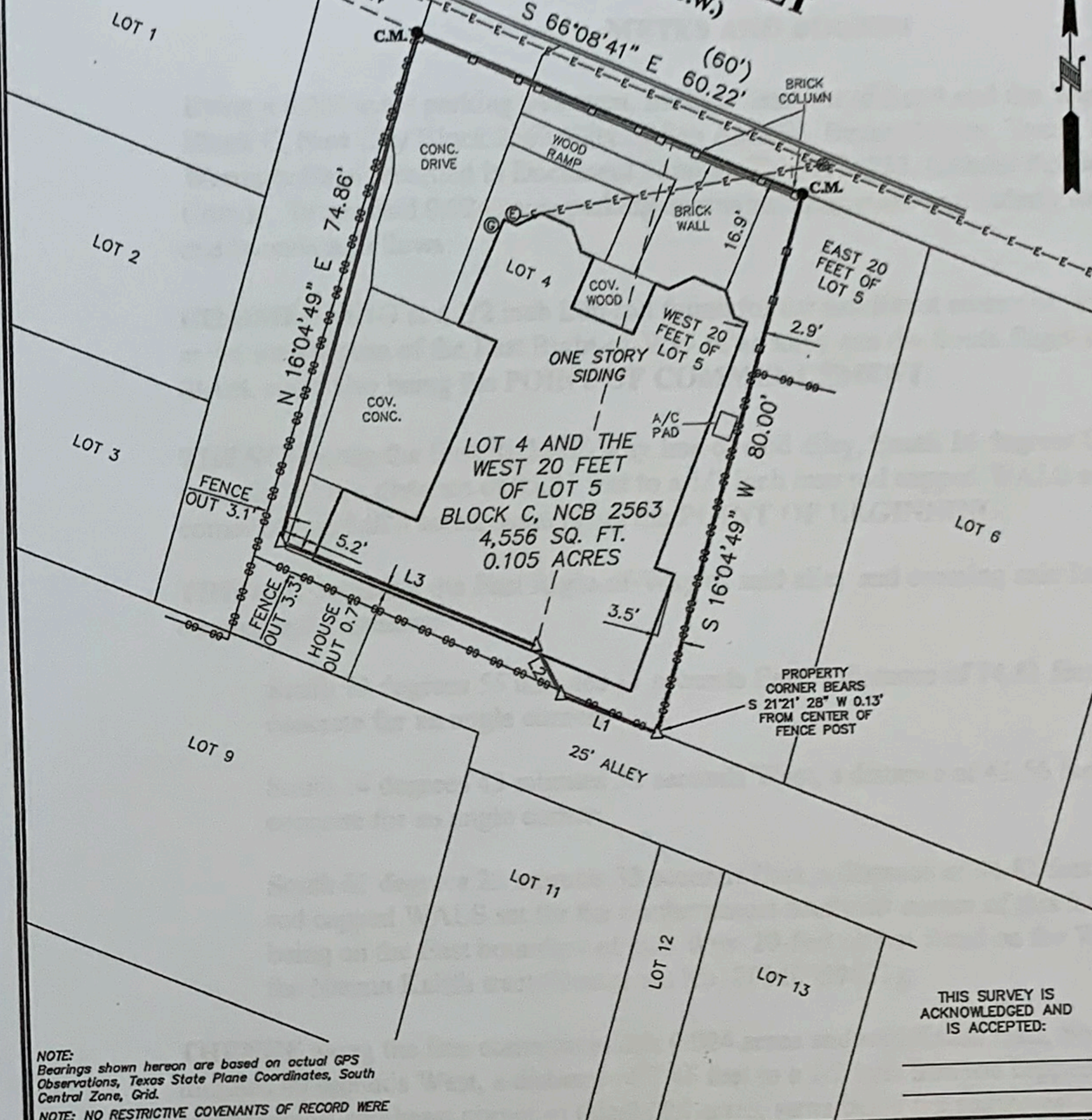
LINE	BEARING	DISTANCE
L1	N 66°08'41" W	14.93'
L2	N 25°45'17" W	7.86'
L3	N 66°08'41" W	40.00'
L4	N 65°29'37" W	15.04'

SCALE: 1"=20'



SWEET STREET

(45' R.O.W.)



THIS SURVEY IS
ACKNOWLEDGED AND
IS ACCEPTED:

NOTE:
Bearings shown hereon are based on actual GPS
Observations, Texas State Plane Coordinates, South
Central Zone, Grid.

NOTE: NO RESTRICTIVE COVENANTS OF RECORD WERE
FOUND.

FLOOD ZONE INTERPRETATION: IT IS THE RESPONSIBILITY OF ANY INTERESTED PERSONS TO VERIFY THE ACCURACY OF FEMA FLOOD ZONE DESIGNATION OF THIS PROPERTY WITH FEMA AND STATE AND LOCAL OFFICIALS, AND TO DETERMINE THE EFFECT THAT SUCH DESIGNATION MAY HAVE REGARDING THE INTENDED USE OF THE PROPERTY. The property made the subject of this survey appears to be included in a FEMA Flood Insurance Rate Map (FIRM), identified as Community No. 48029C, Panel No. 0415 G, which is Dated 09/29/2010. By scaling from that FIRM, it appears that all or a portion of the property may be in Flood Zone(s) X. Because this is a boundary survey, the survey did not take any actions to determine the Flood Zone status of the surveyed property other than to interpret the information set out on FEMA's FIRM, as described above. THIS SURVEYOR DOES NOT CERTIFY THE ACCURACY OF THIS INTERPRETATION OF THE FLOOD ZONES, which may not agree with the interpretations of FEMA or state or local officials, and which may not agree with the tract's actual conditions. More information concerning FEMA's Special Flood Hazard Areas and Zones may be found at <http://www.fema.gov/index.shtml>.



Property Address:
114 SWEET STREET

Property Description:
LOT 4 AND THE WEST 20 FEET OF LOT 5, BLOCK C, NEW
CITY BLOCK 2563, CITY OF SAN ANTONIO, BEXAR COUNTY,
TEXAS.

Owner:
1811 SOUTH ALAMO, LP

I, MARK J. EWALD, Registered Professional
Land Surveyor, State of Texas, do hereby
certify that the above plat represents an
actual survey made on the ground under my
supervision, and there are no discrepancies,
conflicts, shortages in area or boundary
lines, or any encroachment or overlapping of
improvements, to the best of my knowledge
and belief, except as shown herein.

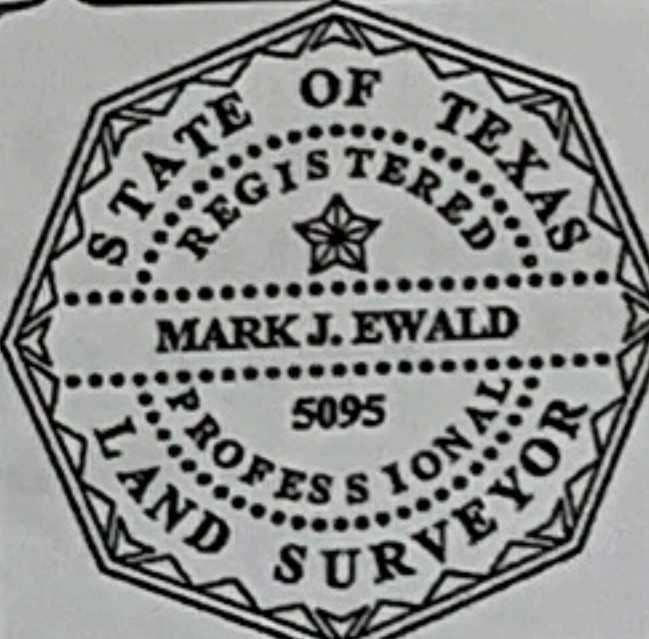
MARK J. EWALD
Registered Professional Land Surveyor
Texas Registration No. 5095

**Westar
Alamo**

LAND SURVEYORS, LLC.

P.O. BOX 1036 HELOTES, TEXAS 78023-1036
PHONE (210) 372-9500 FAX (210) 372-9999

- LEGEND**
- △ = CALCULATED POINT
 - = FND 1/2" IRON ROD
 - () = RECORD INFORMATION
 - B.S. = BUILDING SETBACK
 - C.M. = CONTROLLING MONUMENT
 - ⊙ = ELECTRIC METER
 - ⊙ = GAS METER
 - ⊙ = POWER POLE
 - ⊙ = CHAIN LINK FENCE
 - ⊙ = METAL FENCE



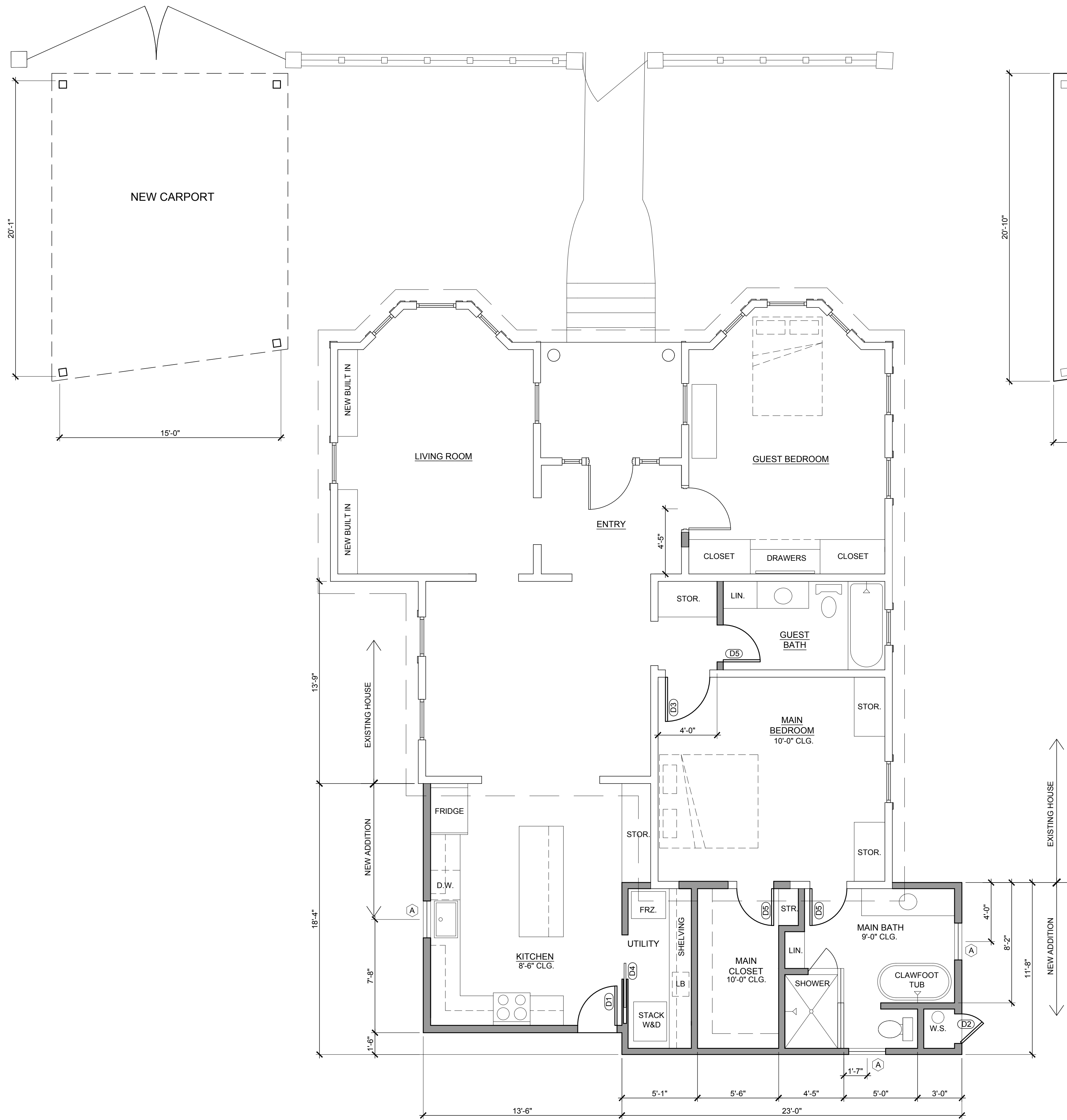
DRAWN BY: JT

TITLE COMPANY: TRINITY TITLE

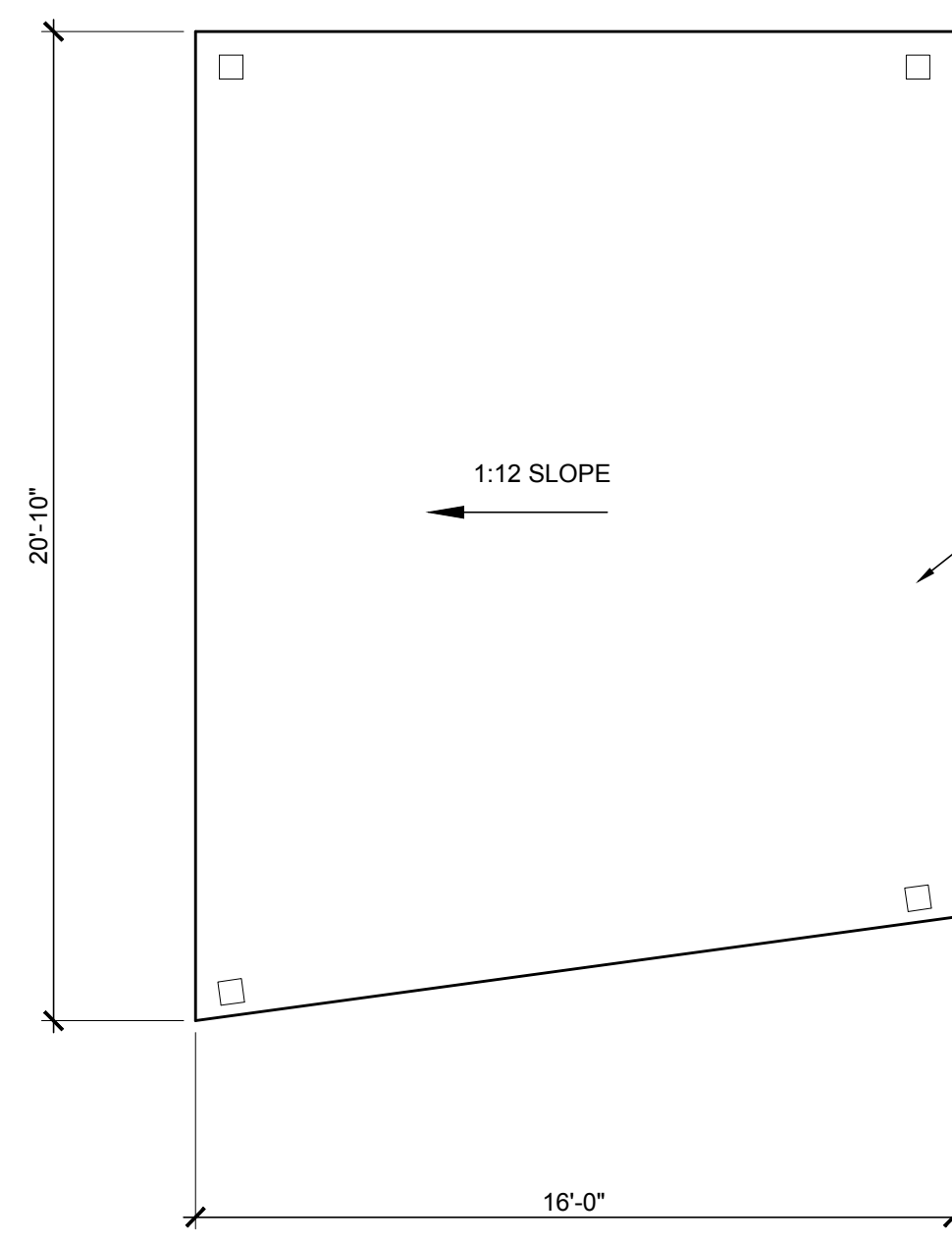
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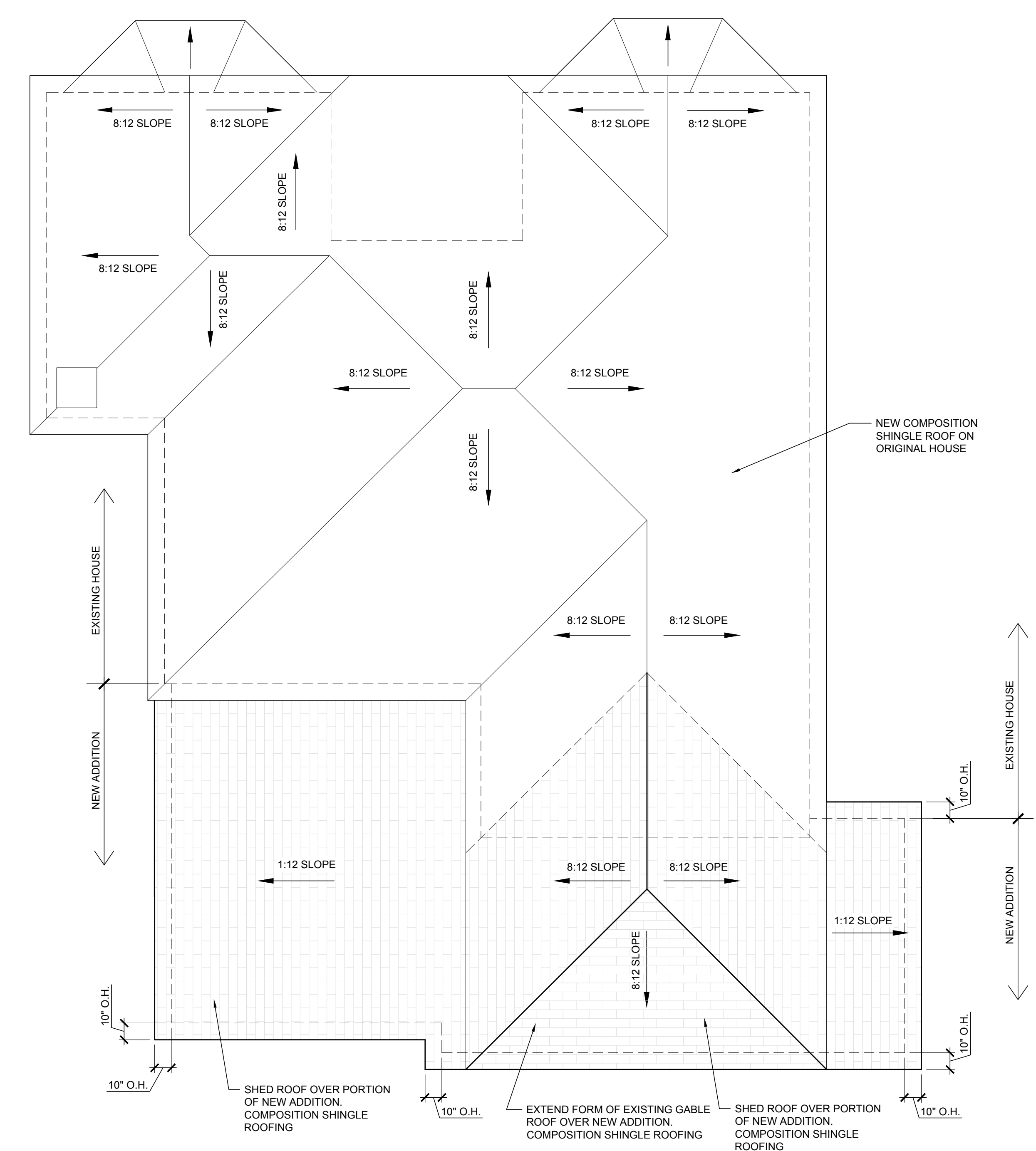
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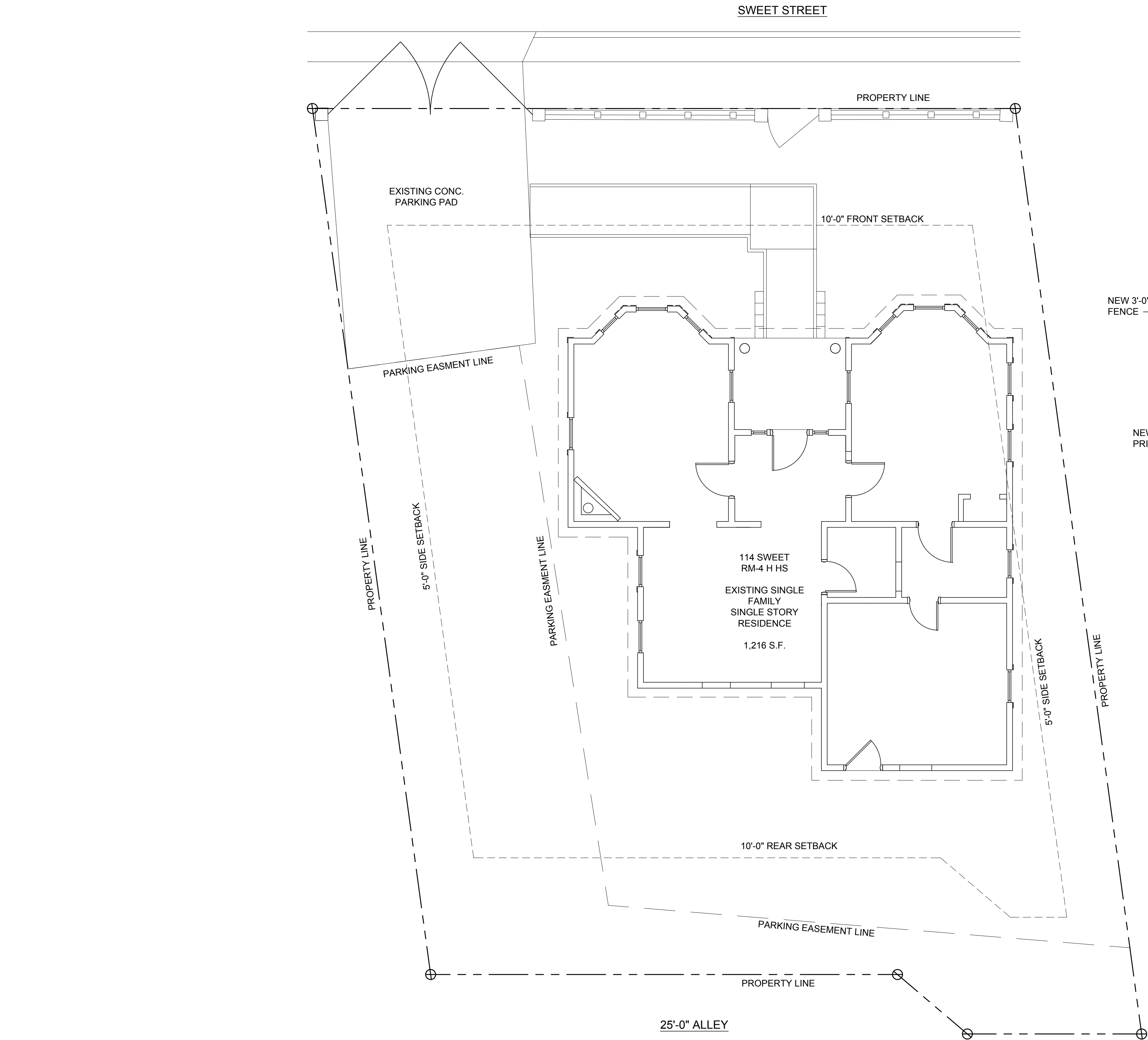


1 114 SWEET - REMODEL & ADDITION PLAN
SCALE: 1/4" = 1'-0"

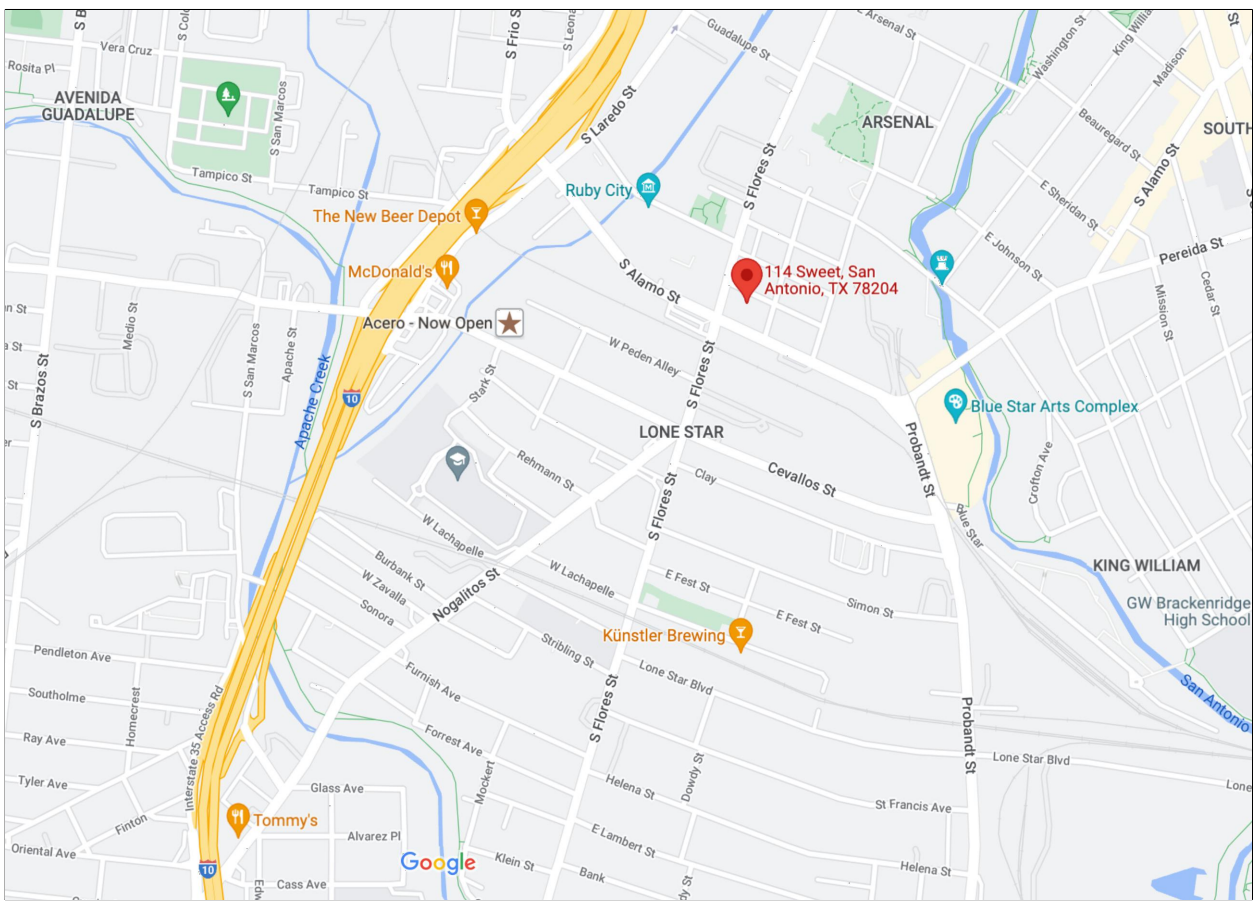


2 114 SWEET - ROOF PLAN
SCALE: 1/4" = 1'-0"





PROJECT LOCATION



1 114 SWEET - EXISTING SITE PLAN
SCALE: 3/16" = 1'-0"

PROJECT INFORMATION

OWNER: STEPHANIE CHAPMAN
ADDRESS: 114 SWEET ST, SAN ANTONIO, TEXAS 78204
LEGAL DESCRIPTION: NCB 2563 BLK C LOT 4 & WEST 20 FT OF LOT 5
ZONING: RM-4 H HS
EXISTING CONSTRUCTION TYPE: V-B
BCAD PARCEL ID: 133317
TYPE: REAL
PROPERTY USE: SINGLE FAMILY
PROPERTY USE CODE: 001

SCOPE OF WORK

CONSTRUCT NEW SINGLE STORY ADDITION TO REAR OF EXISTING HOUSE AND BUILD NEW DETACHED MINIMAL PROFILE SINGLE CAR CARPORT OVER EXISTING DRIVEWAY.
HISTORIC HOUSE EXTERIOR WILL BE REPAIRED AND RESTORED AS NEEDED

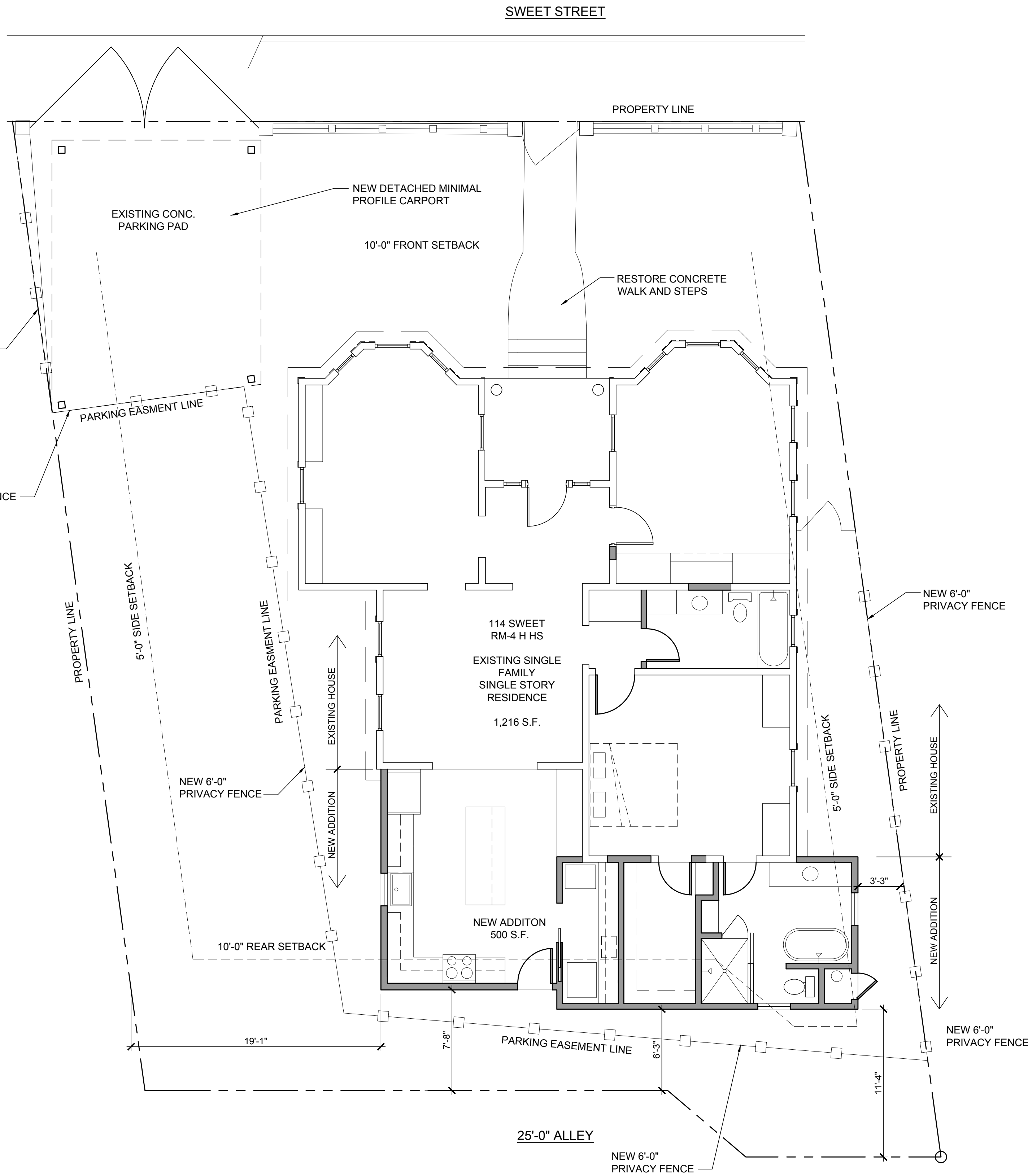
AREA TABULATION FOR HOUSE ADDITION: 500 SQ. FT.

APPLICABLE BUILDING CODES

2018 INTERNATIONAL RESIDENTIAL CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2017 NATIONAL ELECTRIC CODE



NORTH



2 114 SWEET - PROPOSED SITE PLAN
SCALE: 3/16" = 1'-0"

LIST OF DRAWINGS

- A1 PROJECT INFORMATION, EXISTING SITE PLAN, & PROPOSED SITE PLAN
A2 FLOOR PLAN & ROOF PLAN
A3 EXTERIOR ELEVATIONS, DOOR & WINDOW SCHEDULES



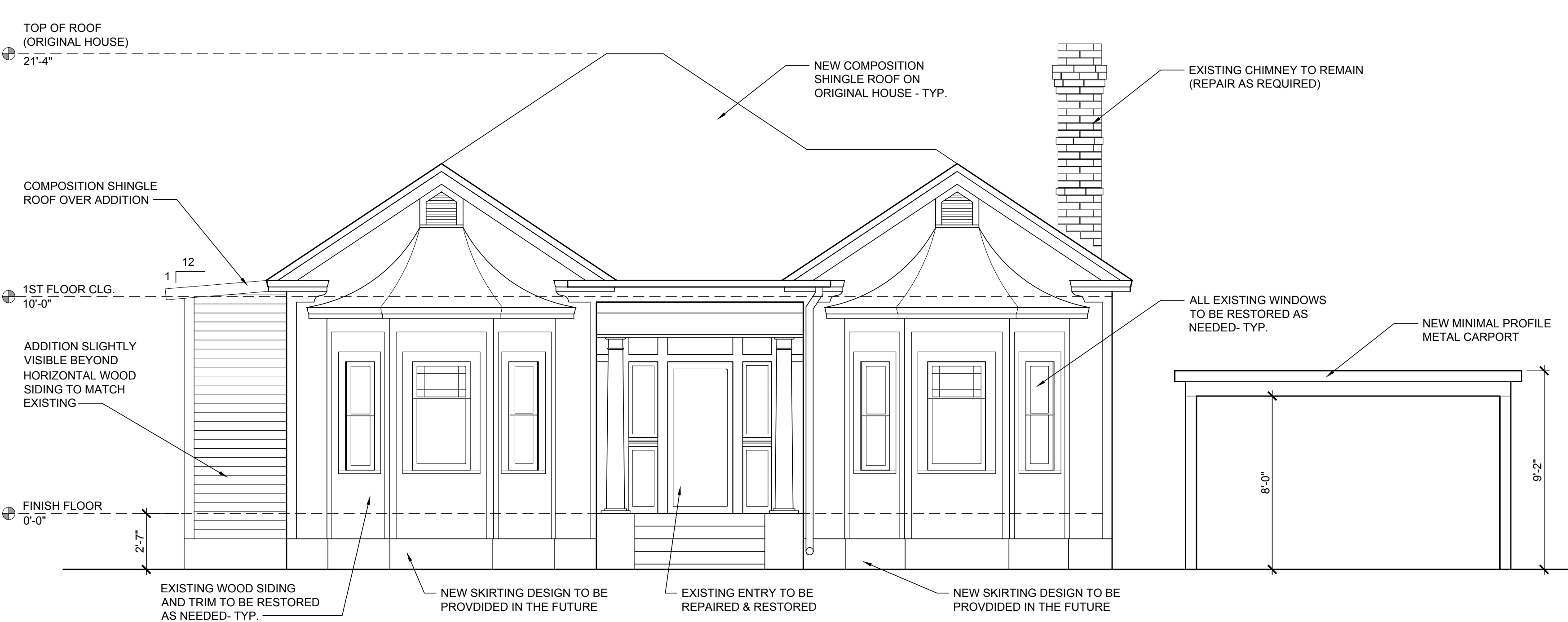
NORTH

FRENCH & MICHIGAN

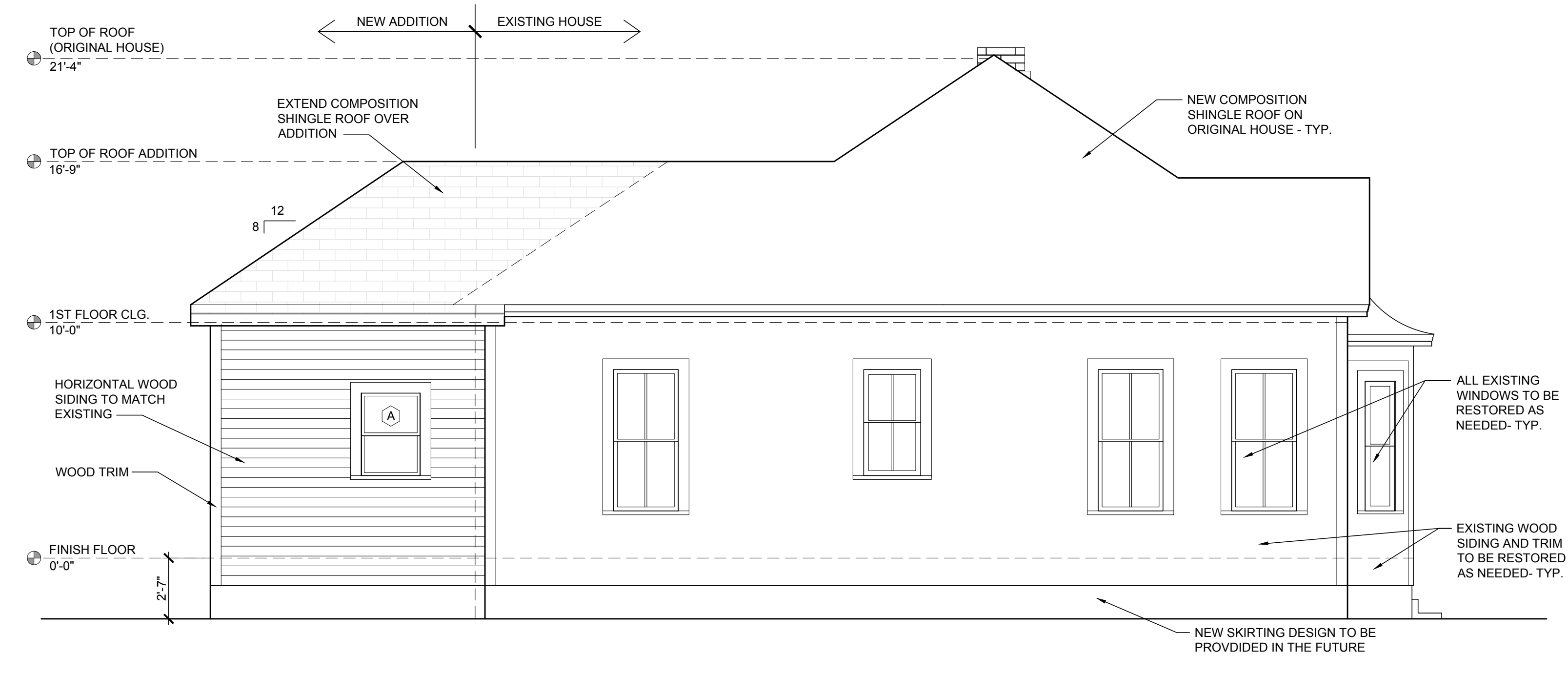
4 / 27 / 2022

REMODEL & ADDITION
114 SWEET ST.
SAN ANTONIO, TEXAS 78204

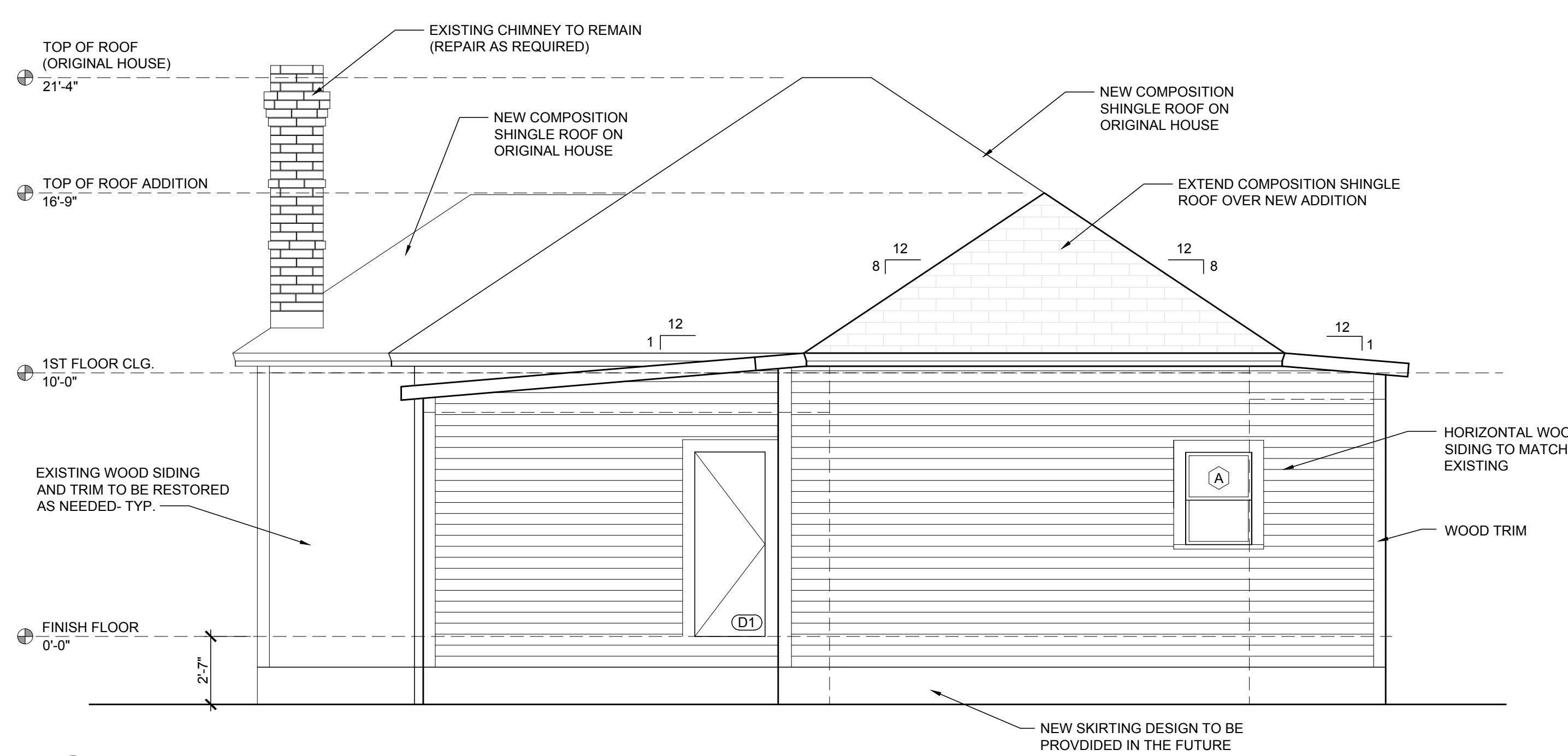
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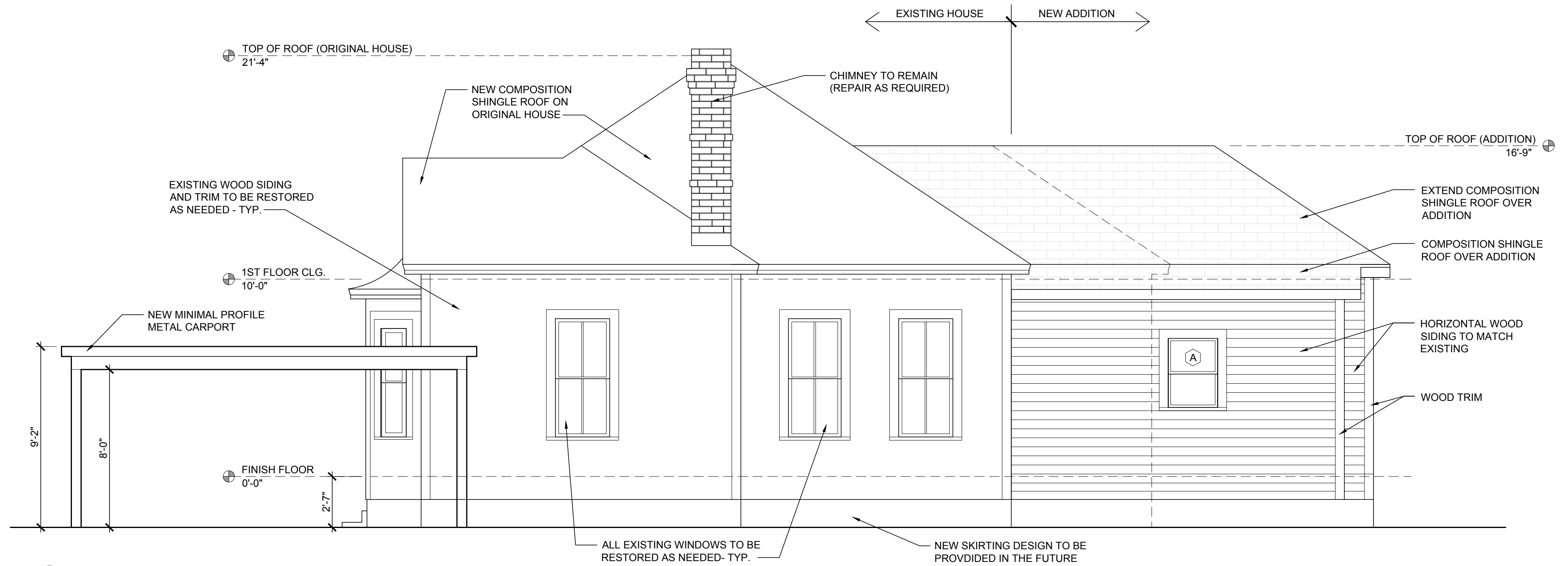
1 114 SWEET - NORTH ELEVATION (STREET FACING)
SCALE: 1/4" = 1'-0"



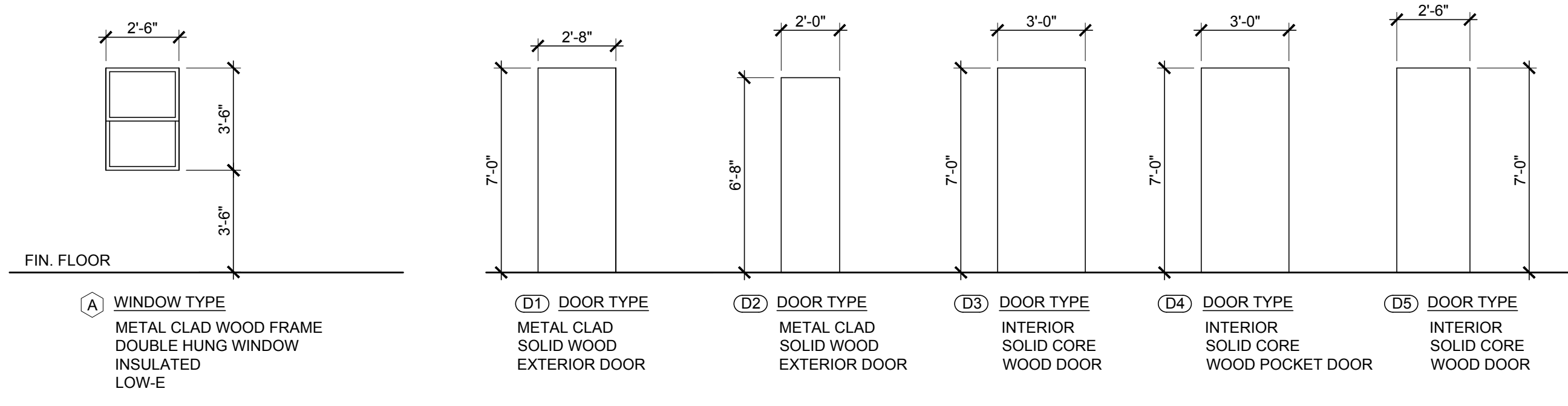
2 114 SWEET - EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 114 SWEET - SOUTH ELEVATION (REAR)
SCALE: 1/4" = 1'-0"



4 114 SWEET - WEST ELEVATION
SCALE: 1/4" = 1'-0"



WINDOW TYPES
SCALE: 1/4" = 1'-0"

DOOR TYPES
SCALE: 1/4" = 1'-0"